



	PROPOSED BUILDING CONCEPT CRITERIA
LOTS	18-23
FAR	1.74 :1
HEIGHT (FROM LOWEST NATURAL SITE GRADE TO TOP OF PARAPET)	58'-0"/4 STORIES
HEIGHT (FROM LOWEST GRADE WITHIN 5' OF BUILDING PERIMETER)	58'-3"/4 STORIES
SITE AREA	45,136 SF
COMBINED PROJECT FLOOR AREA	78,634 SF
EXISTING TO REMAIN (LOT 18-20)	17,134 SF

## WAIVER DEDICATION REQUESTS

1. WAIVE 3'-0" WIDENING ALONG SEWARD STREET
2. WAIVE 3'-0" DEDICATION ALONG MELROSE AVE
3. WAIVE 5'-0" DEDICATION ALONG SEWARD STREET

EXISTING BUILDING FAR TO REMAIN		17,134 SF
NEW BUILDING FAR		61,500 SF
EXISTING PARKING ON SITE	LOT 18	NONE
	LOT 19-20	24 SPACES (TANDEM)
	LOT 23	4 SPACES
	TOTAL	28 SPACES
NEW ON-SITE PARKING SPACES REQUIRED	2/1000 SF	154 SPACES
PARKING SPACES OFFSET BY BICYCLE SPACES		6 SPACES
MINIMUM REQUIRED NEW ON-SITE PARKING SPACES		148 SPACES
NEW PARKING SPACES PROVIDED		151 SPACES
NEW PARKING SPACES PROVIDED ABOVE REQUIRED		+3 SPACES
EXISTING BICYCLE SPACES ON SITE		0 SPACES
SHORT TERM BICYCLE SPACES REQUIRED/PROVIDED PER TABLE 12.21A.16 9a)(2)	1/10,000 SF	12 SPACES
LONG TERM BICYCLE SPACES REQUIRED/PROVIDED PER TABLE 12.21A.16 9a)(2)	1/5,000 SF	12 SPACES
SHOWERS REQUIRED/PROVIDED PER GENDER PER LAMC 91.6307		1 SHOWER
LOCKERS REQUIRED/PROVIDED PER LAMC 91.6307		12 LOCKERS
PARKING SPACES FOR CLEAN AIR VEHICLES PER TABLE 5.106.5.2		16 SPACES
PARKING SPACES FOR EV CHARGING STATIONS PER TABLE 5.106.5.3.3		16 SPACES
EXISTING BUILDING HEIGHTS	LOT 18	21.26 FT
	LOT 19-20	26.54 FT
	LOT 23	26.25 FT

	EXISTING ON SITE	EXISTING TO REMAIN	PROJECT TOTAL	NET NEW
<b>FAR AREA</b>	25,607 SF	17,134 SF (LOT 18-20)	78,634 SF	+61,500 SF
<b>PARKING SPACES</b>	28 SPACES	NONE	151 SPACES	+123 SPACES
<b>BICYCLE PARKING</b>	NONE	NONE	24 SPACES	+24 SPACES
<b>OPEN SPACE</b>	NONE	NONE	16,185 SF	16,185 SF
<b>LANDSCAPE AREA</b>	1,050 SF of NON-REQUIRED HEDGED AREA (LOT 21)	NONE	2,508 SF	2,508 SF

PROVIDED PARKING PER FLOOR	
<b>GROUND FLOOR (5,092 SF*)</b>	<b>2 SPACES</b>
STANDARD	0 SPACES
COMPACT	0 SPACES
ADA	2 SPACES
<b>LEVEL B1 (21,860 SF*)</b>	<b>41 SPACES</b>
STANDARD	27 SPACES
COMPACT	8 SPACES
ADA	6 SPACES
<b>LEVEL B2 (21,860 SF*)</b>	<b>108 SPACES</b>
STANDARD (STACKER)	48 SPACES
COMPACT (STACKER)	56 SPACES
STANDARD	4 SPACES
<b>TOTAL PROVIDED (48,812 SF*)</b>	<b>151 SPACES</b>
COMPACT STALL RATIO = 42%	
* PARKING FLOOR AREAS DO NOT COUNT TOWARDS FAR	

PARKING REQUIRED PER LABDS RECORDS			
	FLOOR AREA SF	PARKING RATIO	PARKING COUNT
REQUIRED PARKING	61,500	2 PER 1,000	123
LOTS 19/20 (BUILDING PERMIT 20016-1000-06182)			31
LOT 18 (C OF O 210766)			4
BIKE CREDITS			-6
LOT 18 PARKING PROVIDED (EXISTING TO REMAIN)			4
LOT 21-23 PARKING PROVIDED			151
SPACES PROVIDED ABOVE REQUIRED			+3

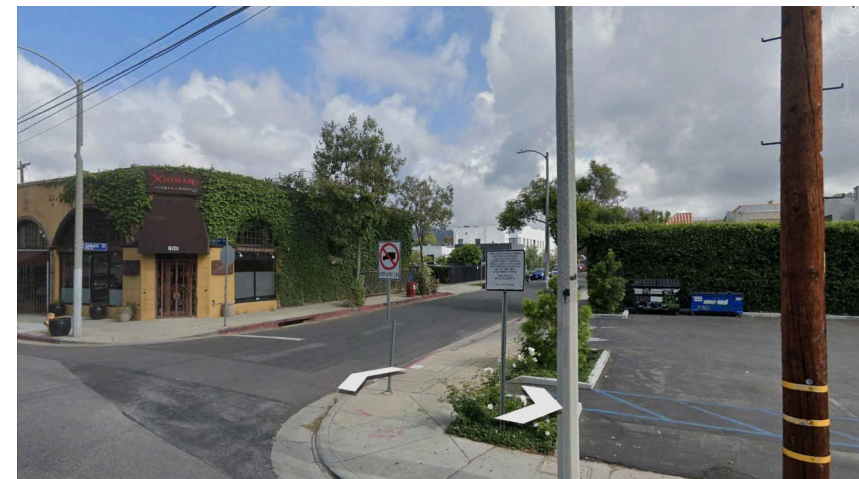
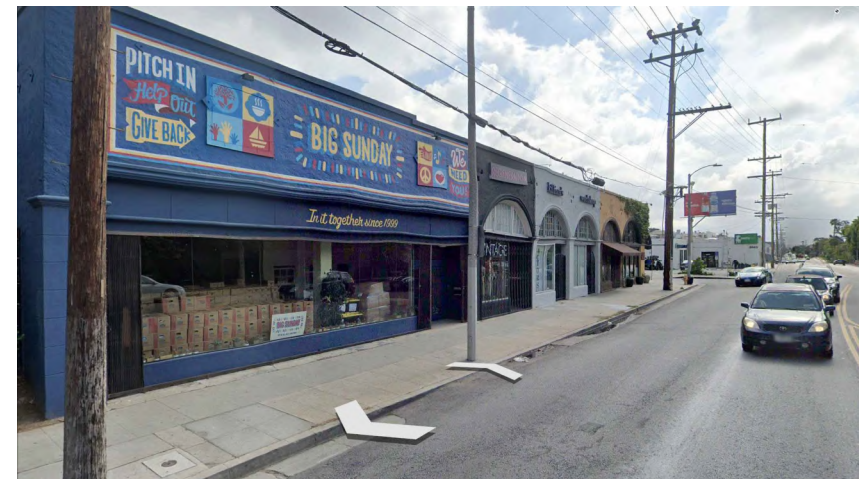
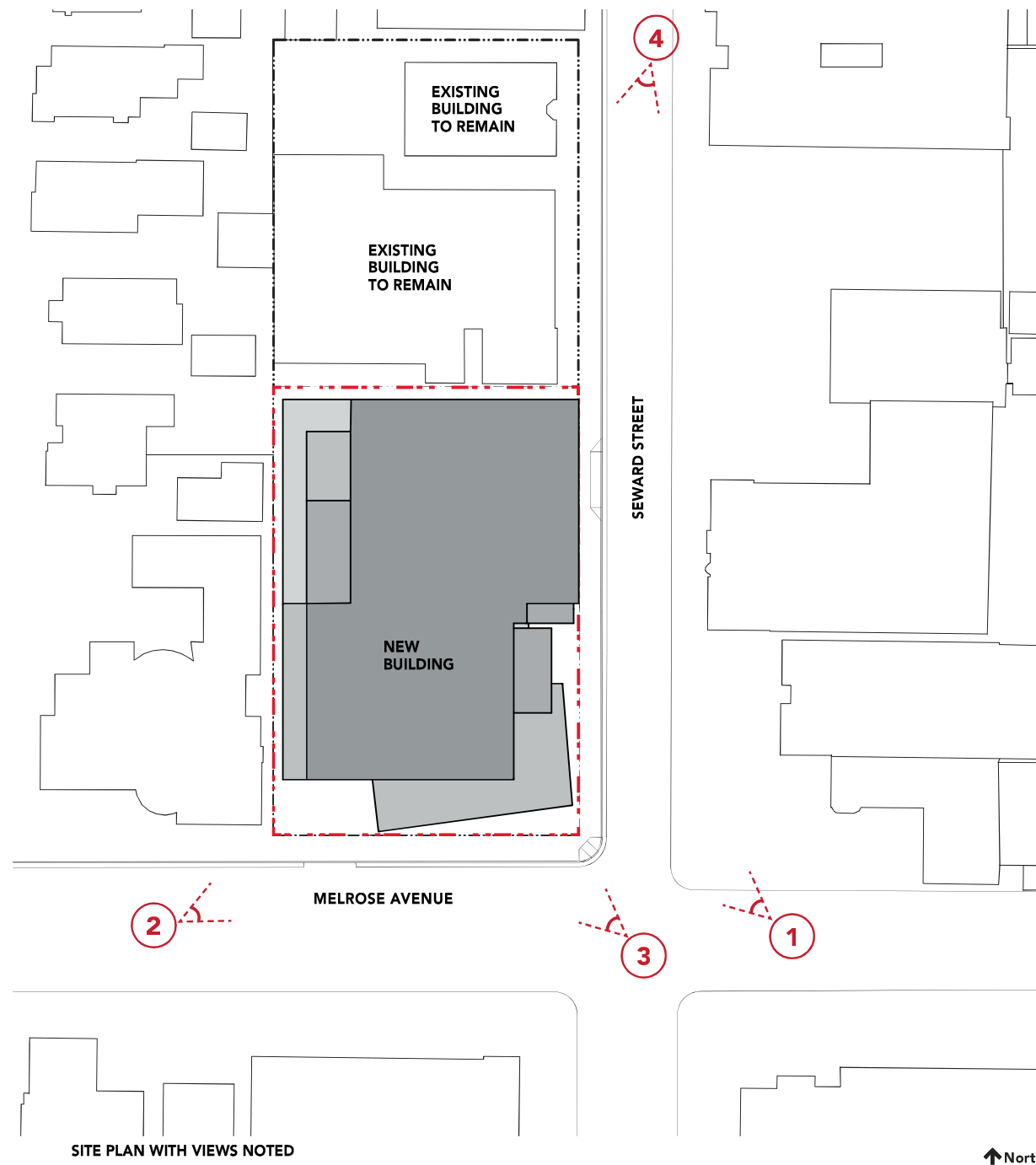
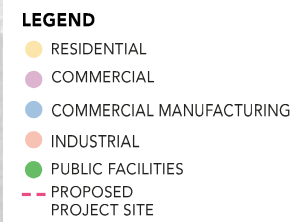
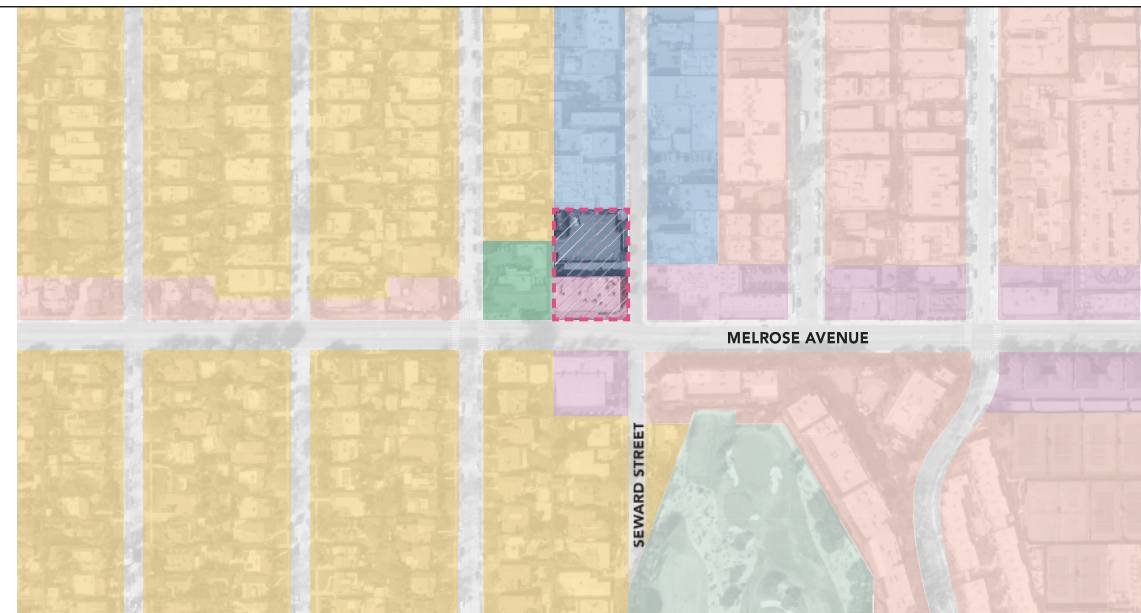
A0-000	TITLE SHEET
A0-001	NEIGHBORHOOD PHOTOS AND INDEX
A0-002	PLOT PLAN
A0-003	AXONOMETRIC DIAGRAMS
A0-004	DIAGRAMS
V0-000	SURVEY
A1-1B2	BASEMENT LEVEL 02 PLAN
A1-1B1	BASEMENT LEVEL 01 PLAN
A1-101	FIRST FLOOR PLAN
A1-102	SECOND FLOOR PLAN
A1-103	THIRD FLOOR PLAN
A1-104	FOURTH FLOOR PLAN
A1-105	ROOF PLAN
A2-200	BUILDING MATERIALS
A2-201	NORTH ELEVATION
A2-202	EAST ELEVATION
A2-203	SOUTH ELEVATION
A2-204	WEST ELEVATION
A3-301	NORTH SOUTH SECTION
A3-302	EAST WEST SECTION 1
A3-303	EAST WEST SECTION 2
L1-100	LANDSCAPE DESCRIPTION
L1-101	LANDSCAPE PLAN - 1F
L1-102	LANDSCAPE PLAN - 2F
L1-103	LANDSCAPE PLAN - 3F
L1-104	LANDSCAPE PLAN - 4F
L1-105	LANDSCAPE PLAN - ROOF
L1-106	PLANTING AND MATERIALS
LL-101	LIGHTING PLAN - 1F
LL-102	LIGHTING PLAN - 2F
LL-103	LIGHTING PLAN - 3F
LL-104	LIGHTING PLAN - 4F
LL-105	LIGHTING PLAN - ROOF
LL-106	LIGHTING CUTSHEET
R-001	RENDERING 1
R-002	RENDERING 2
R-003	RENDERING 3
R-004	RENDERING 4
R-005	RENDERING 5

( ) NEW SCOPE OF WORK

[illegible]

## 0





PROJECT NAME:

ME  
SE

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



DRAWING TITLE:

## NEIGHBORHOOD PHOTOS

SCALE @ 24" X 36":

**NOT APPLICABLE**

PROJECT NO:

1911

PROJECT NORTH:



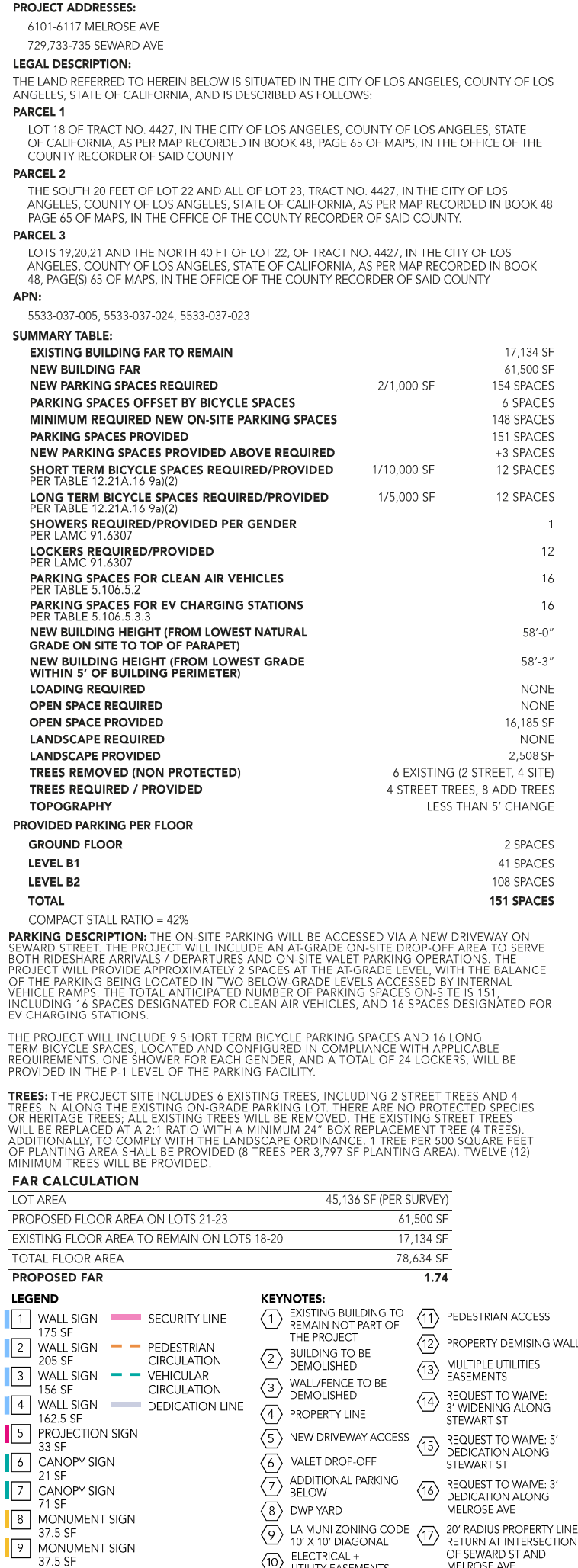
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**A0-001**

REV NO:

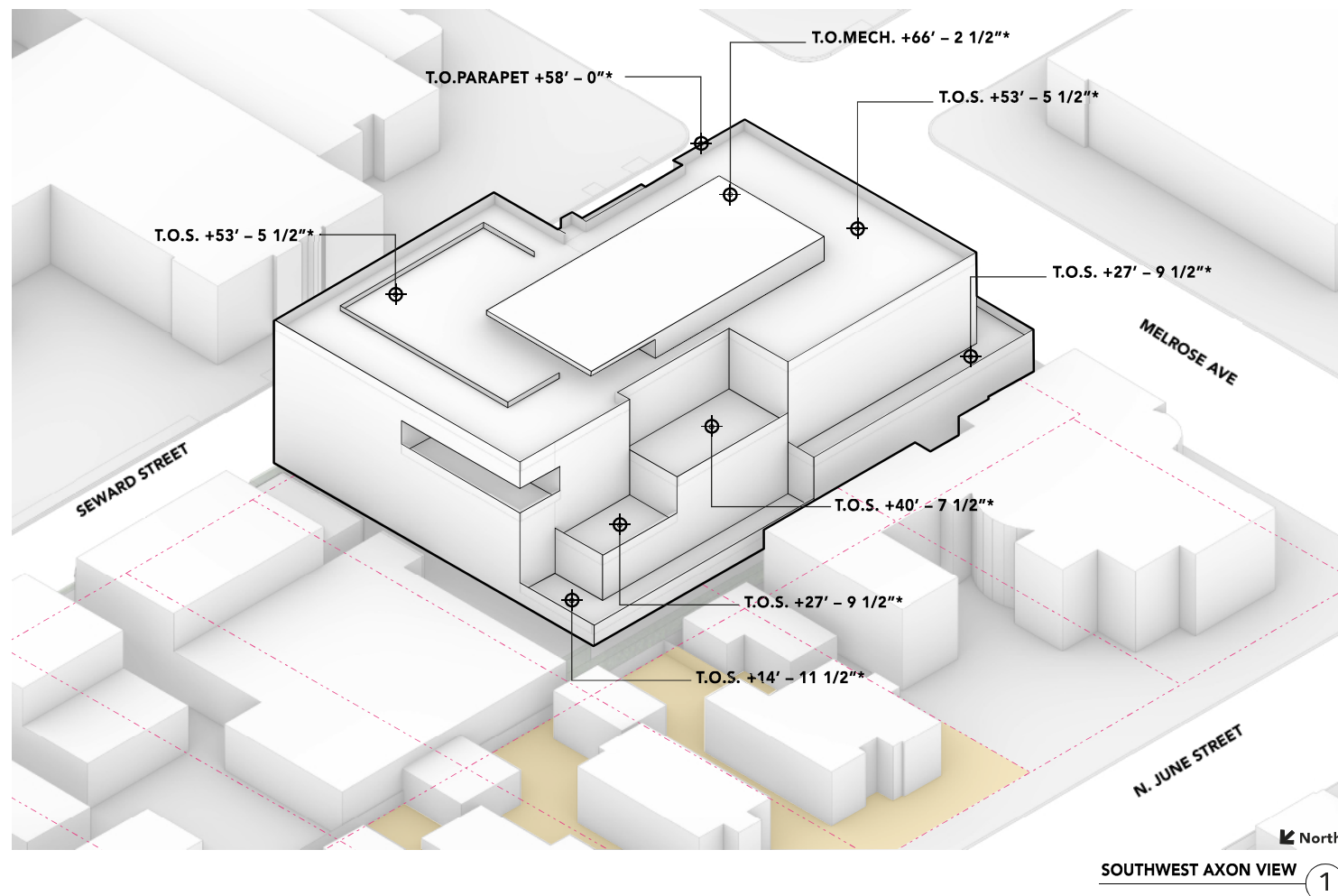
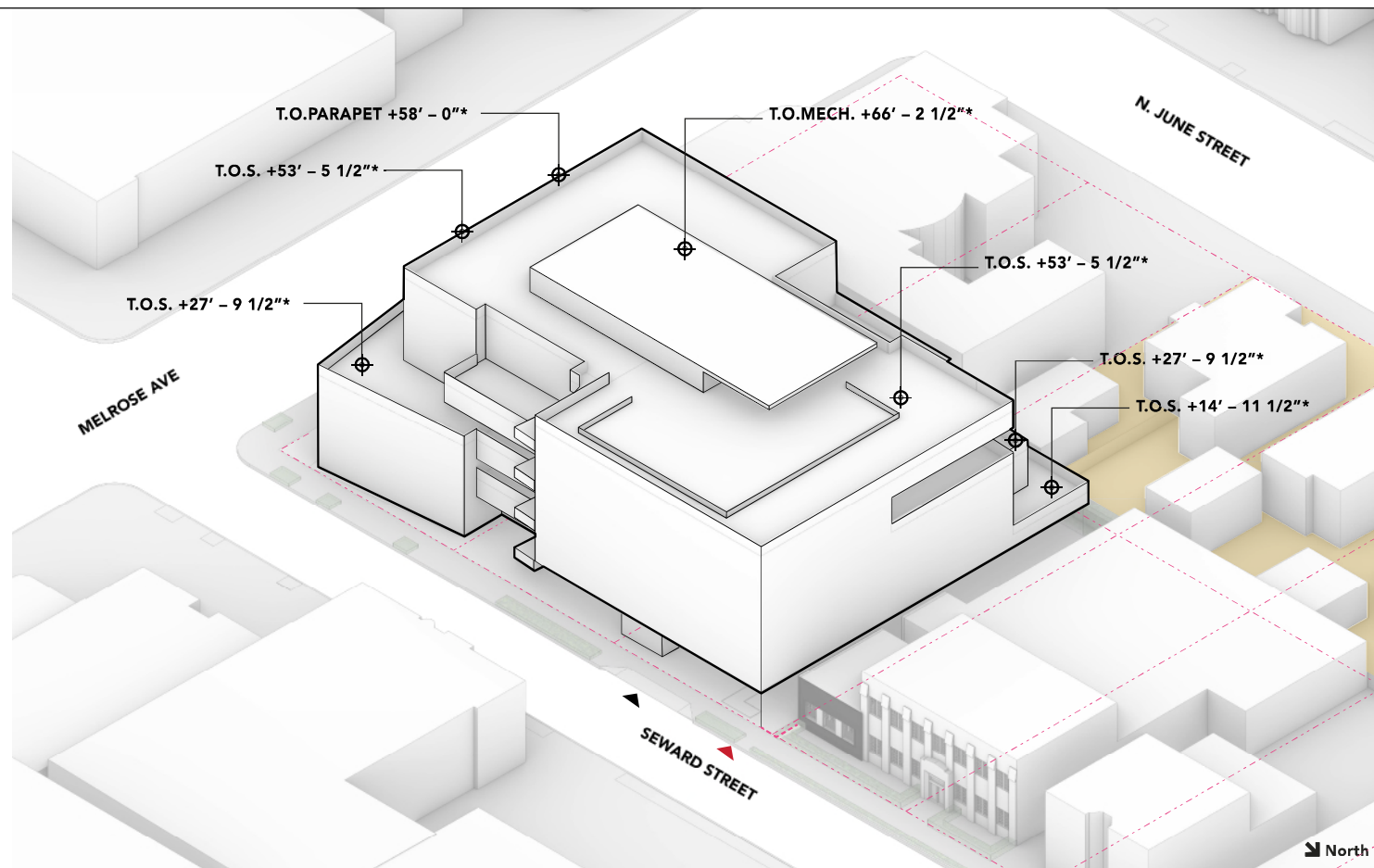
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PROJECT NAME: <div><div>ME</div><div>SE</div></div> <div>6101-6117 N. MELROSE AVE 729,733-735 SEWARD AVE LOS ANGELES, CA 90038</div> <div>APN: 5533-037-005, 5533-037-024, 5533-037-023</div>		
CLIENT: <div><div>BARDAS</div><div>INVESTMENT GROUP</div></div>		
KEY PLAN:		
NO.	DESCRIPTION	DATE
DESIGN CONSULTANT: <div><div><div>OW</div><div>Otherworks</div><div>923 E 3RD ST #107 LOS ANGELES, CA 90013</div></div></div>		
EXECUTIVE ARCHITECT: <div><div><div>LRA</div><div>House &amp; Robertson</div><div>ARCHITECTS</div></div></div>		
LANDSCAPE ARCHITECT: <div><div>SALT</div></div>		
LIGHTING DESIGNER: <div><div><div>H</div><div>HENDERSON</div><div>ENGINEERS</div></div></div>		
DRAWING TITLE: <div><div>PLOT PLAN</div></div>		
SCALE @ 24" X 36": <div><div>1/16" = 1'0"</div><div><div>0</div><div>5</div><div>10</div><div>25</div><div>50</div></div></div>		
PROJECT NO: <div>1911</div>	PROJECT NORTH: <div>↑</div>	
DRAWING NO: <div>A0-002</div>	REV NO: <div>0</div>	





PROJECT NAME:

ME  
SE

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



DRAWING TITLE:

## AXONOMETRIC DIAGRAM

SCALE @ 24" X 36":

**NOT APPLICABLE**

PROJECT NO:

1911

PROJECT NORTH:	
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DRAWING NO:

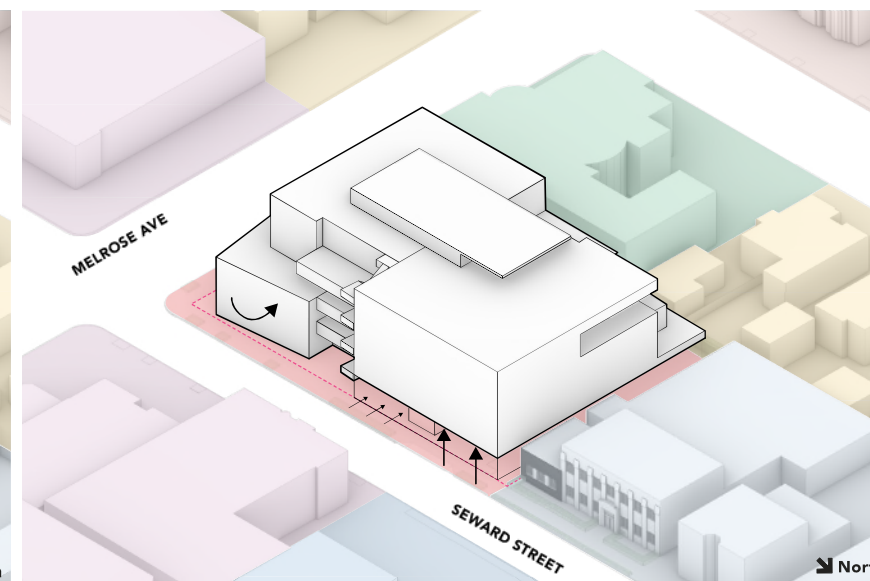
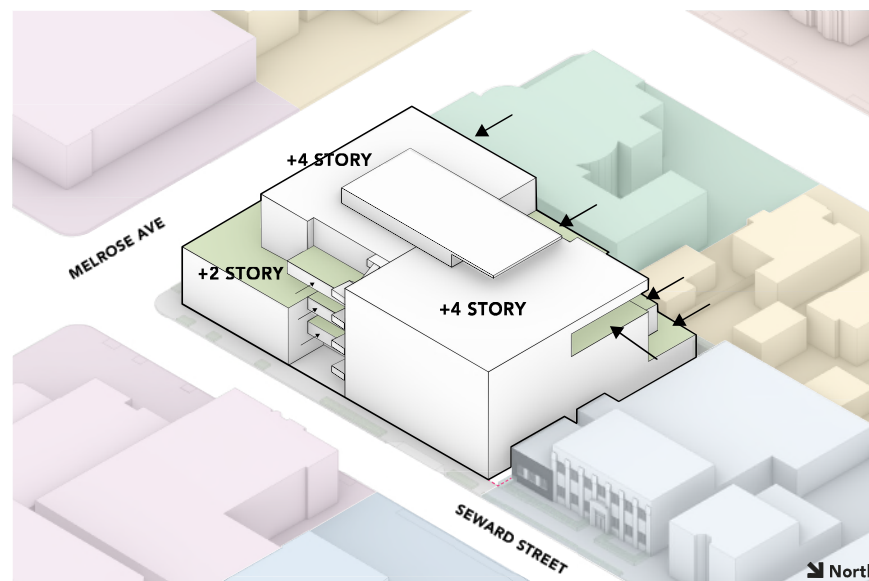
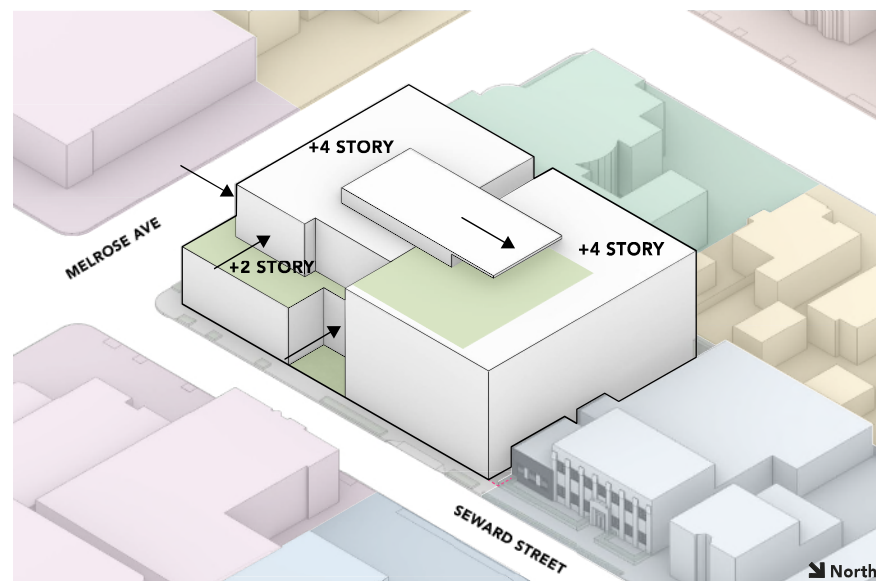
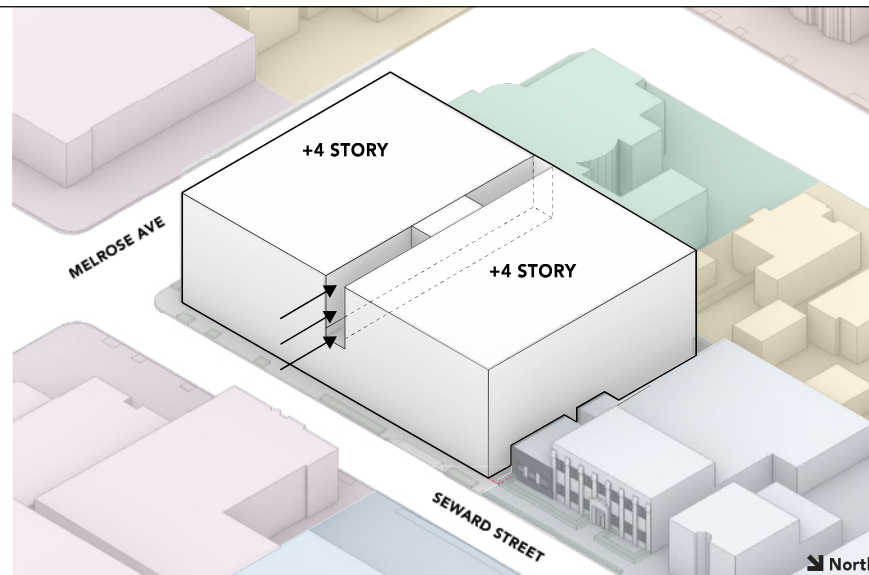
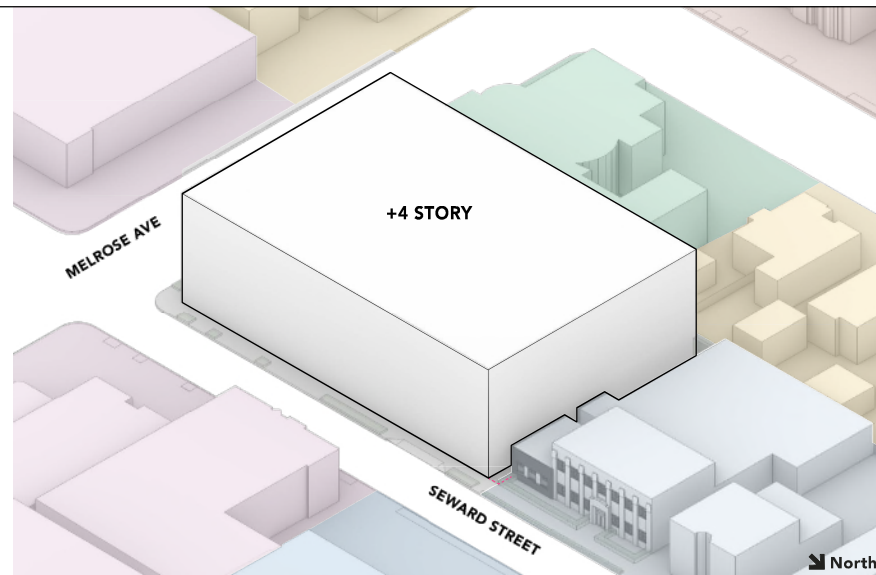
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REV NO:
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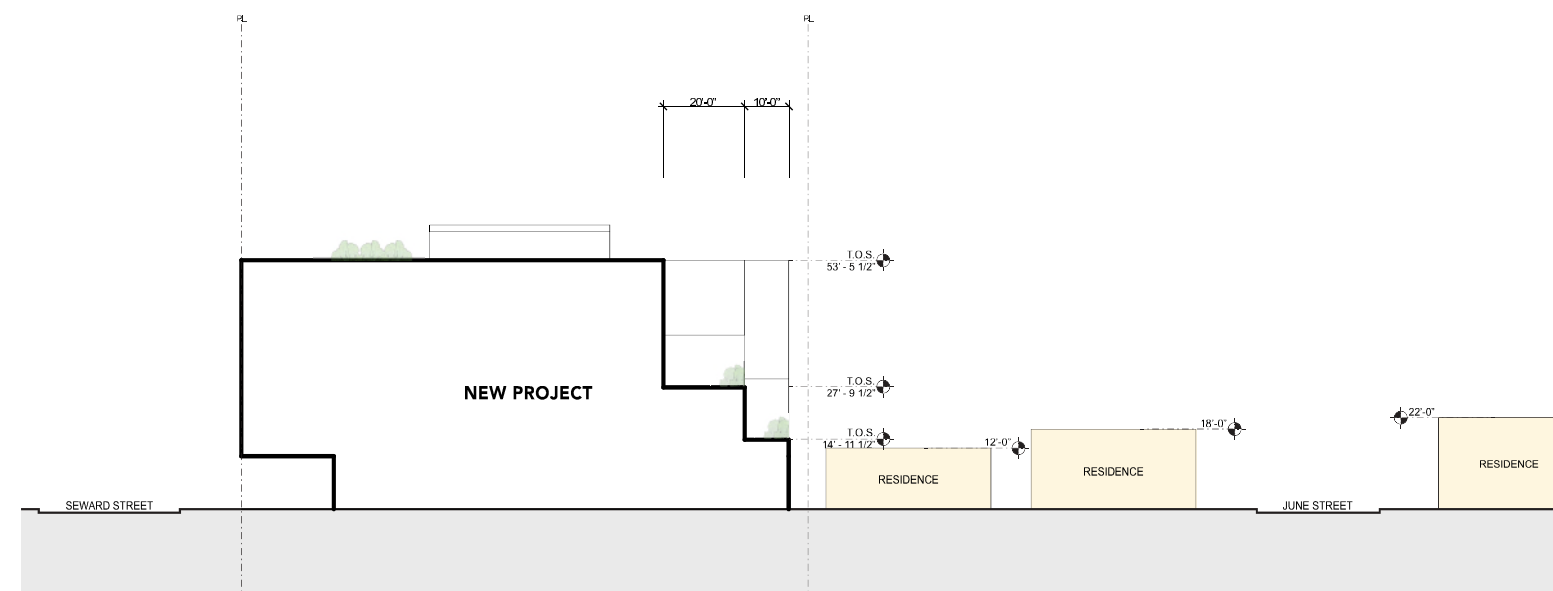
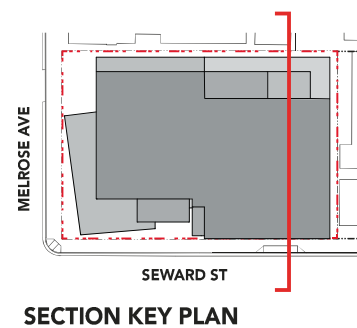
OCTOBER 2022





\* HEIGHTS ARE TAKEN FROM THE  
LOWEST NATURAL GRADE ON SITE  
TO THE INDICATED LEVEL.

T.O.S. - TOP OF SLAB



PROJECT NAME:

ME  
SE

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:	
--------------------	--



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



DRAWING TITLE:

## DIAGRAMS

SCALE @ 24" X 36":

**NOT APPLICABLE**

PROJECT NO:
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1911

	PROJECT NORTH:
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DRAWING NO:

**A0-004**

REV NO:
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0



**APN:** 5533-037-005, 5533-037-024, 5533-037-023

BARDAS  
INVESTMENT GROUP[illegible]

**OW**  
**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90011

**HRA**  
House & Robertson  
ARCHITECTS

SALT


**HENDERSON**  
ENGINEERS

## SURVEY

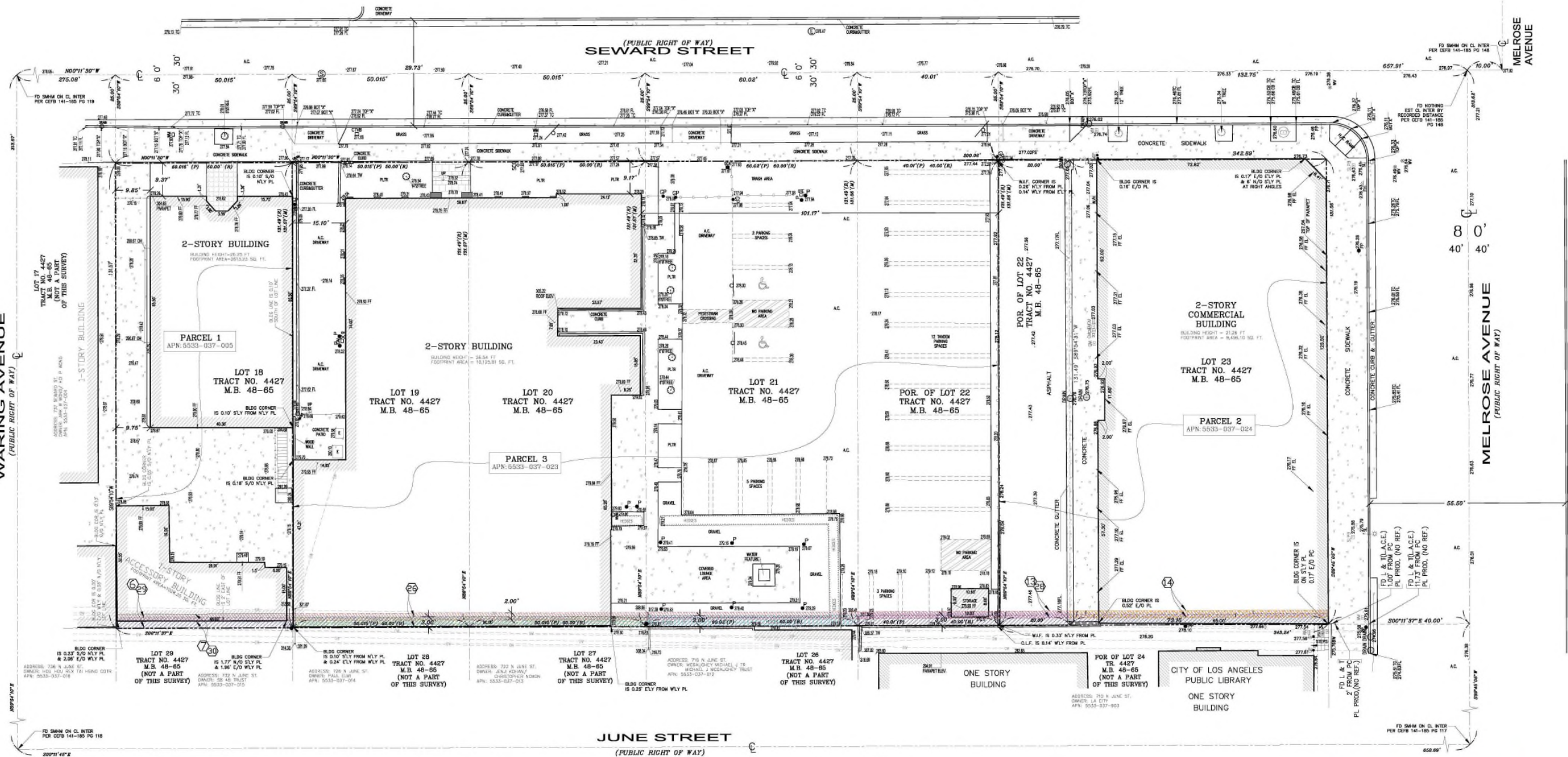
**1" = 15'- 0"**

1911

**V0-000**



0



SUBJECT PROPERTY IS ZONE "X" AREA OUTSIDE 1-PERCENT ANNUAL CHANCE OF FLOOD  
FEMA PANEL NO: 06037C060F  
EFFECTIVE DATE: 09/26/2008

PARKING 1:  
NO MARKED PARKING SPACES

PARKING 2:  
NO MARKED PARKING SPACES

PARKING 3:  
10 REGULAR PARKING SPACES  
12 TANDEM PARKING SPACES = 24 PARKING SPACES  
2 DESIGNATED PARKING SPACES

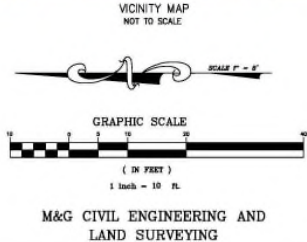
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TOTAL NUMBER OF PARKING SPACES = 36

CABLE TV BOX	A.C.	ASPHALT CONCRETE	A.C.	ASPHALT CONCRETE
COLUMN	B	B	B	B
DOOR	B	B	B	B
GAS METER	B	B	B	B
GAS VALVE	B	B	B	B
GATE PULL BOX	B	B	B	B
GATE VALVE	B	B	B	B
IRIGATION VALVE	B	B	B	B
POST	B	B	B	B
SEWER HOLE	B	B	B	B
SEWER CL. OUT	B	B	B	B
SEWER MANHOLE	B	B	B	B
TRUST	B	B	B	B
WATER METER	B	B	B	B
ELECTRIC UTILITY BOX	B	B	B	B
ELECTRIC MANHOLE	B	B	B	B

PLOTTED HEREIN

Cynthia A. De Leon  
RCE 31604 - Exp. 12-31-20



TITLE: ALTA/NSPS LAND TITLE SURVEY		
720,733-735 SEWARD STREET & 1101-6117 MELROSE AVE, LOS ANGELES, CA 90038		
CLIENT: HQ DEVELOPMENT	JOB NO.: 17-1185	
SCALE: 1"= 10'	DATE: 09/29/19	
DESIGNED BY: C.D.L. A. N.J.	REVISION (S):	
DRAWN BY: S.J.		
CHECKED BY: C.D.L.		
 <p>CIVIL ENGINEERING &amp; LAND SURVEYING 347 S. ROBERTSON BLVD. BEVERLY HILLS, CALIFORNIA 90001 TEL. 818-851-0871 FAX 818-851-0945 tel@mglsur.com www.mglsur.com</p>		
SHEET 1		OF 1 SHEET

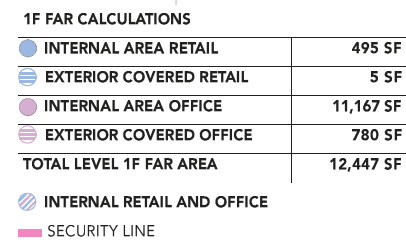












← North

0




















The project will include enhanced energy-efficiency via high-performance glazing as well as enhanced façade, roof and deck insulation values. The air conditioning system will be comprised of highly efficient Variable Refrigerant Flow systems allowing for minimal electrical consumption, particularly when the building is lightly occupied. The building systems will include enhanced filtration of outside air being delivered to the occupied areas, and operable windows and oversize folding glass walls will enhance the natural ventilation whenever weather conditions permit. Vertical circulation via the feature outdoor stair will further enhance the health and wellness of the occupants.

The on-site drop-off area in the ground floor will encourage ridesharing and carpooling, while the on-site parking will include preferential parking for electric and low-emitting vehicles, and the project will provide over-code electric vehicle charging stations.

10/10

[illegible]

This architectural rendering depicts a modern, multi-story building with a two-tone facade. The upper portion of the building is finished with dark, horizontal panels, while the lower portion features light-colored, vertical panels. A prominent glass entrance is located on the ground floor. The building includes balconies, some with greenery, and a series of external stairs. Numbered callouts identify specific architectural elements: 1A and 1B point to balcony railings; 2 points to a ground-floor window; 3 points to a corner window; 4 and 4A point to windows on the dark upper level; 5 points to a corner window on the dark level; 6 points to a ground-floor window on the right; and 8 points to a rooftop terrace area. The building is situated on a street corner with a sidewalk, trees, and pedestrian figures for scale. A silver car is parked on the street, and another is visible in the distance. The sky is blue with scattered white clouds.

ME  
SE

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

**BARDAS**  
INVESTMENT GROUP

[illegible]

**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90013

**HRA**  
House & Robertson  
ARCHITECTS

SALT



**HENDERSON**  
ENGINEERS

## BUILDING MATERIALS

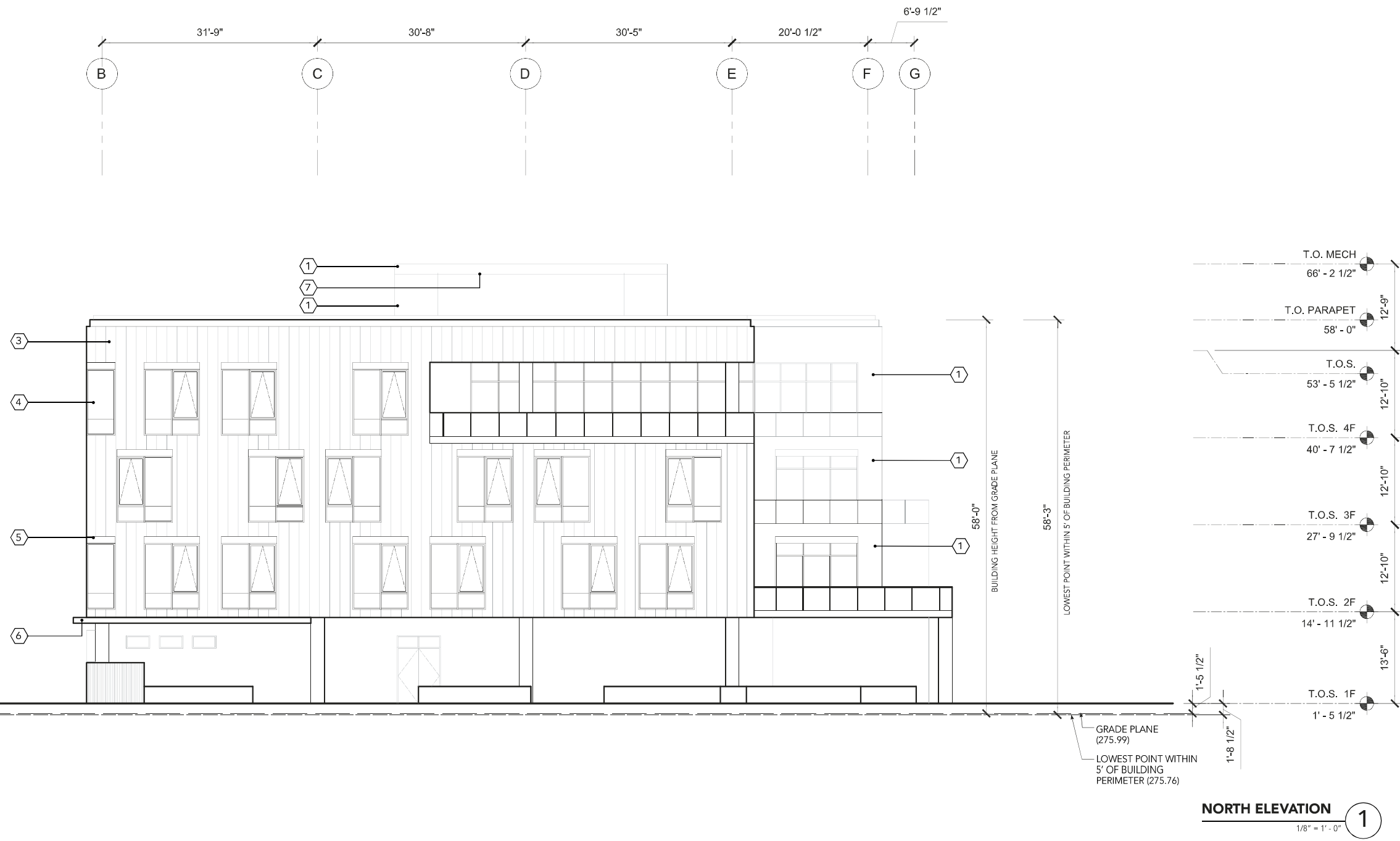
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1911

## A2-200

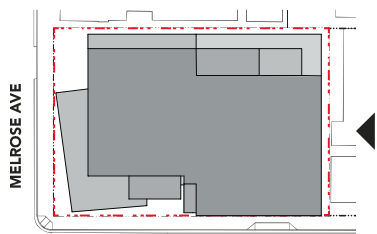
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- ### KEYNOTES:
- 1 PAINTED STUCCO
  - 2 SIMULATED WOOD PANELING
  - 3 WHITE METAL PANEL
  - 4 PUNCHED ALUMINUM WINDOW
  - 5 WOOD FRAME
  - 6 PAINTED METAL
  - 7 METAL PANEL (UNDERSIDE)
  - 8 PERFORATED METAL HANDRAIL
  - 9 WINDOW WALL
  - 10 PROPERTY DEMISING WALL

\* HEIGHTS ARE TAKEN FROM THE LOWEST NATURAL GRADE ON SITE TO THE INDICATED LEVEL.  
T.O.S. - TOP OF SLAB  
T.O.P. - TOP OF PARAPET



## KEY PLAN

PROJECT NAME:

**M E**  
**S E**

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN: 5533-037-005, 5533-037-024, 5533-037-023**

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT



LIGHTING DESIGNER:



DRAWING TITLE:

**NORTH ELEVATION**

SCALE @ 24" X 36":

**1/8" = 1'-0"**



PROJECT NO:

1911

DRAWING NO:

A2-201

NORTH:

REV NO:

0





- \* HEIGHTS ARE TAKEN FROM THE  
LOWEST NATURAL GRADE ON SITE  
TO THE INDICATED LEVEL.
- T.O.S. - TOP OF SLAB  
T.O.P. - TOP OF PARAPET



CLIENT:

**BARDAS**  
INVESTMENT GROUP

[illegible]

EXECUTIVE ARCHITECT:


**HRA**  
House & Robertson  
ARCHITECTS

LIGHTING DESIGNER:

 **HENDERSON**  
ENGINEERS

SCALE @ 24" X 36":

**1/8" = 1'-0"**



A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 5, 10, and 25, representing feet. The total length of the bar is 25 feet.

PROJECT NO: <b>1911</b>	PROJECT NORTH:
DRAWING NO: <b>A2-202</b>	REV NO: <b>0</b>

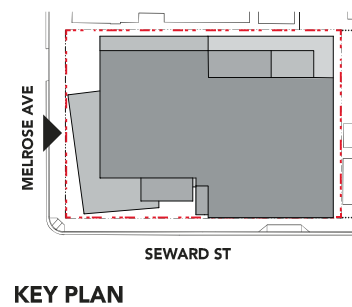




- ### KEYNOTES:
- 1 PAINTED STUCCO
  - 2 SIMULATED WOOD PANELING
  - 3 WHITE METAL PANEL
  - 4 PUNCHED ALUMINUM WINDOW
  - 5 WOOD FRAME
  - 6 PAINTED METAL
  - 7 METAL PANEL (UNDERSIDE)
  - 8 PERFORATED METAL HANDRAIL
  - 9 WINDOW WALL
  - 10 PROPERTY DEMISING WALL

\* HEIGHTS ARE TAKEN FROM THE  
LOWEST NATURAL GRADE ON SITE  
TO THE INDICATED LEVEL.

T.O.S. - TOP OF SLAB  
T.O.P. - TOP OF PARAPET



PROJECT NAME:

**M E  
S E**

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN: 5533-037-005, 5533-037-024, 5533-037-023**

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:

**OW**  
**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90013

EXECUTIVE ARCHITECT:

**HRA**  
House & Robertson  
ARCHITECTS

LANDSCAPE ARCHITECT:  
**SALT**


LIGHTING DESIGNER:

 **HENDERSON**  
ENGINEERS

DRAWING TITLE:  
**SOUTH ELEVATION**

SCALE @ 24" X 36":

**$1/8" = 1' - 0"$**

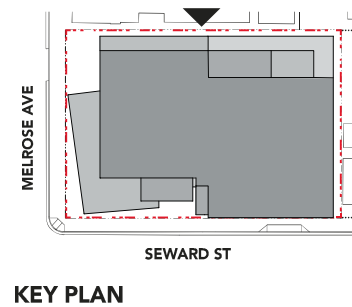


A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 5, 10, and 25, representing feet. The bar is 25 feet long in total.

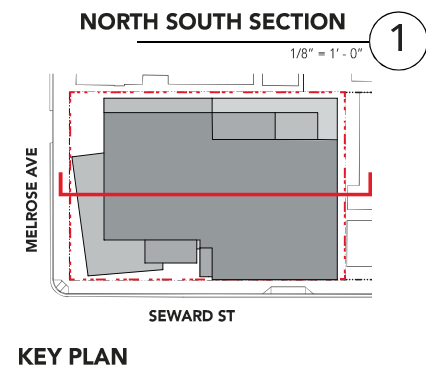
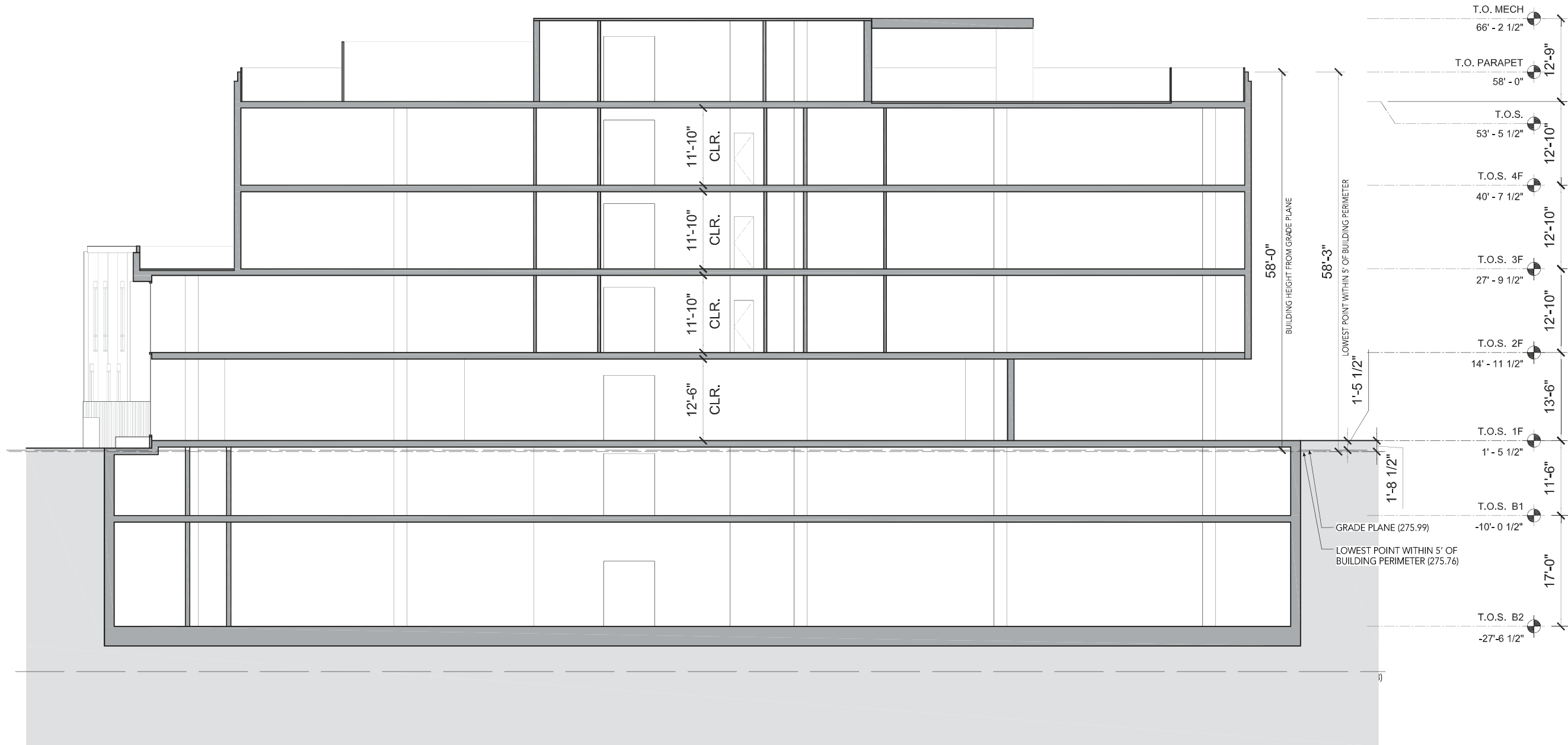
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DRAWING NO: <b>A2-203</b>	REV NO: <b>0</b>
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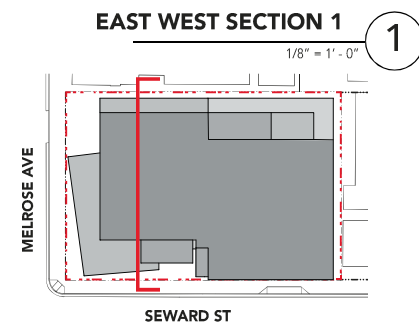
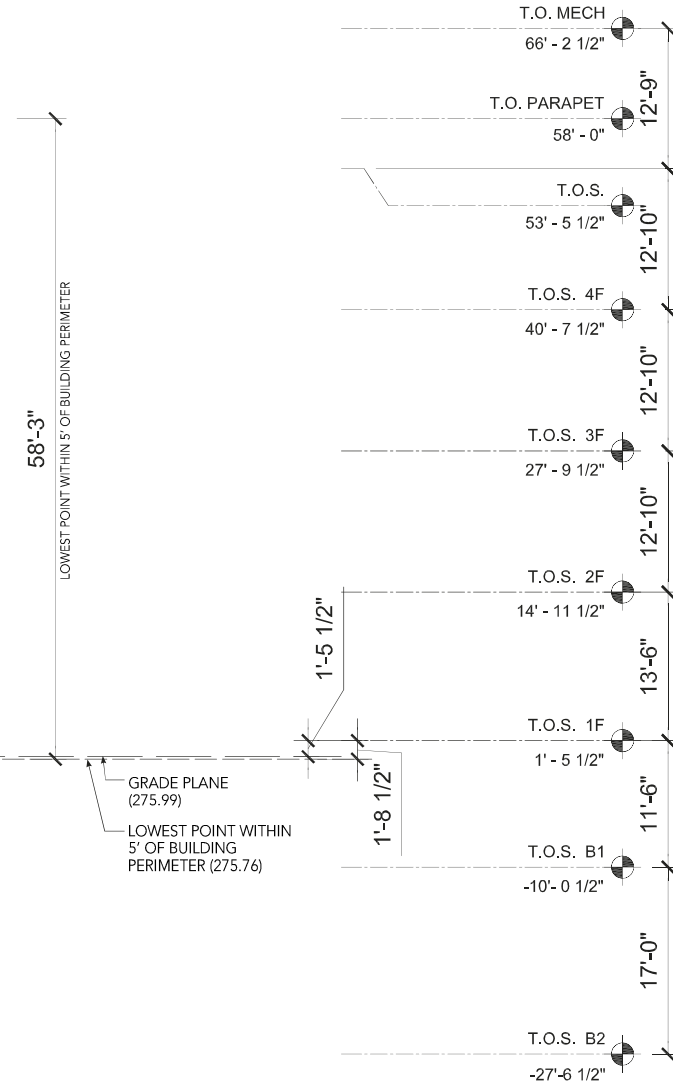
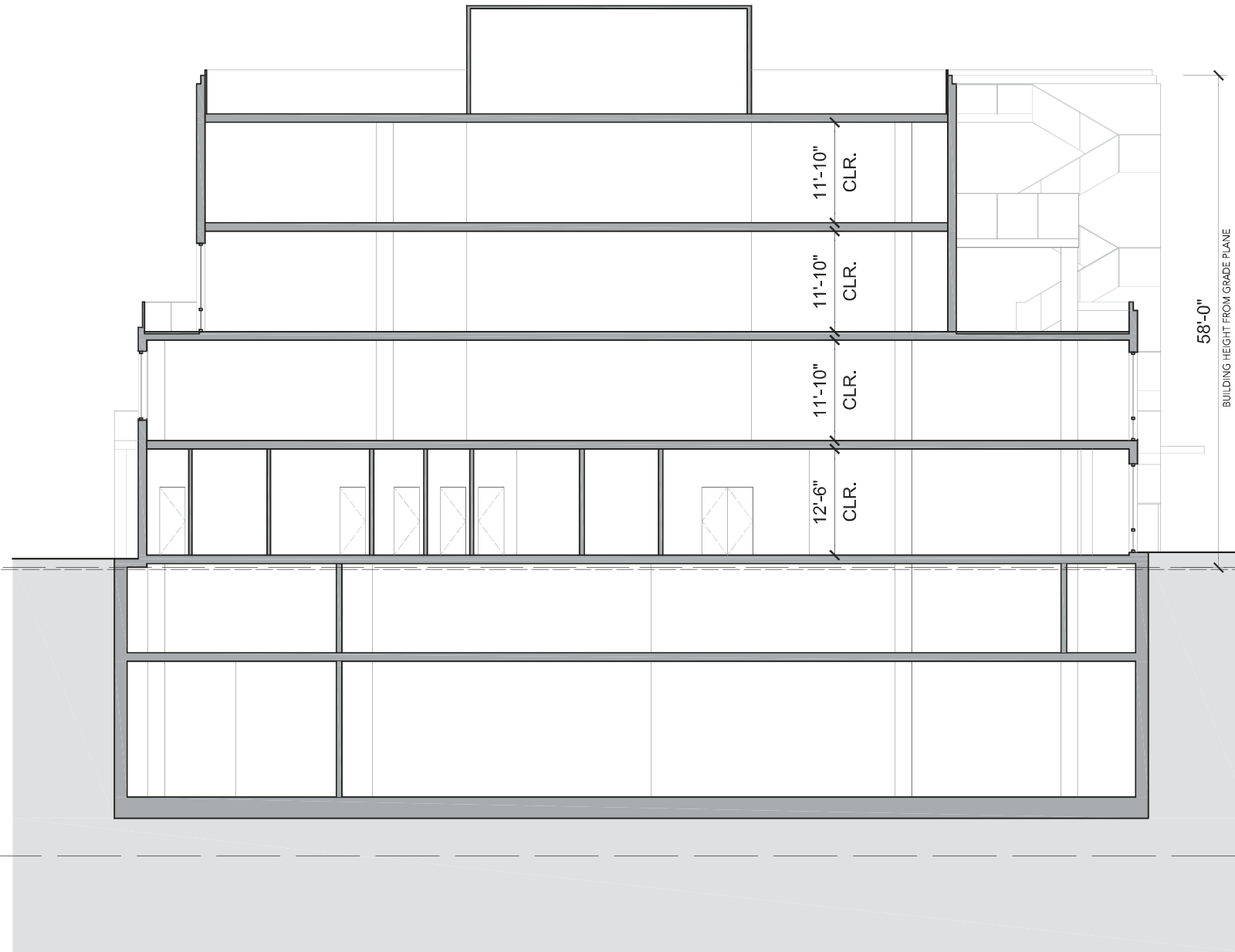
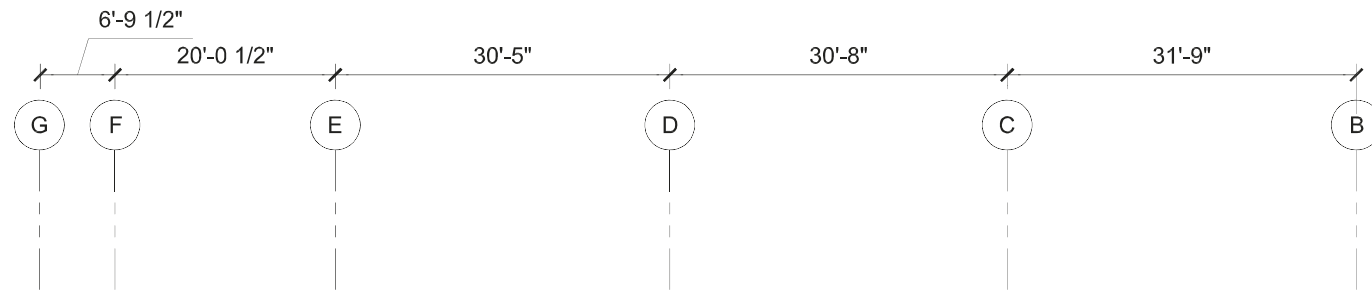




\* HEIGHTS ARE TAKEN FROM THE  
LOWEST NATURAL GRADE ON SITE  
TO THE INDICATED LEVEL.

T.O.S. - TOP OF SLAB  
T.O.P. - TOP OF PARAPET





\* HEIGHTS ARE TAKEN FROM THE  
LOWEST NATURAL GRADE ON SITE  
TO THE INDICATED LEVEL.

T.O.S. - TOP OF SLAB  
T.O.P. - TOP OF PARAPET

## KEY PLAN

PROJECT NAME:

ME  
SE

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:

**OW**  
**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90013

EXECUTIVE ARCHITECT:

**HRA**  
House & Robertson  
ARCHITECTS

LANDSCAPE ARCHITECT:

SALT

LIGHTING DESIGNER:



**HENDERSON**  
ENGINEERS

DRAWING TITLE
---------------

### EAST WEST SECTION 1

SCALE @ 24" X 36":

$$1/8'' = 1' - 0''$$


PROJECT NO:

1911

DRAWING NO.

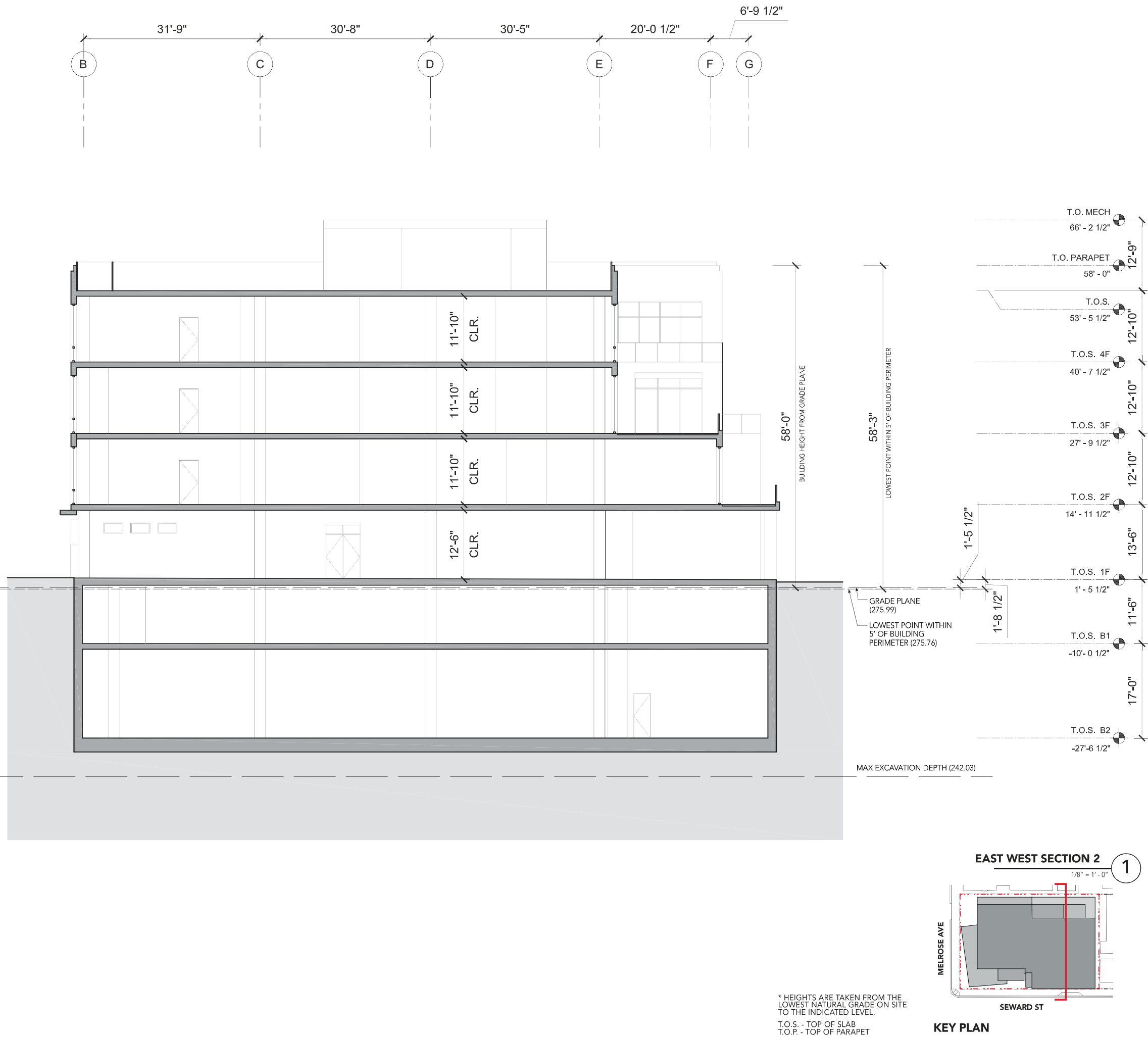
**A3-302**

PROJECT NORTH

REV NO:

0





PROJECT NAME:

**M E**  
**S E**

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN: 5533-037-005, 5533-037-024, 5533-037-023**

CLIENT: **BARDAS**  
INVESTMENT GROUP

[illegible]

DESIGN CONSULTANT:

**OW**  
**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90013

EXECUTIVE ARCHITECT:

**HRA**  
House & Robertson  
ARCHITECTS

LANDSCAPE ARCHITECT:  
SALT


LIGHTING DESIGNER:

 **HENDERSON**  
ENGINEERS

DRAWING TITLE:  
**EAST WEST SECTION 2**

SCALE @ 24" X 36":

**1/8" = 1'-0"**



A horizontal scale bar with a black and white alternating pattern. It is marked with the numbers 0, 5, 10, and 25, representing feet.

PROJECT NO: <b>1911</b>	PROJECT NORTH:
DRAWING NO: <b>A3-303</b>	REV NO: <b>0</b>



LANDSCAPE DESIGN PRINCIPLES

OPEN SPACE:

While code does not obligate Open Space requirements for the project, 16,185 total square feet of Open Space, including 2,508 square feet of landscaped common open space are been provided.

OPEN SPACE REQUIRED	NONE
OPEN SPACE PROVIDED	16,185 SF
LANDSCAPE REQUIRED	NONE
LANDSCAPE PROVIDED	2,508 SF

TREES:

The project site includes 6 existing trees, including 2 street trees and 4 trees along the existing on-grade parking lot. There are no protected species; all existing trees within the parking lot will be removed. The existing street trees will remain in place.

WATER USE:

The irrigation system shall be designed to meet or exceed the state Model Water Efficient Landscape Ordinance (MWELO). The system should utilize a dedicated landscape water meter and automatic weather-based controllers with electronically operated control valves and seasonal irrigation schedules. All areas will include high efficiency irrigation emitters, including micro spray and drip irrigation. Bubblers may be used for trees or shrubs where drip irrigation is not feasible. Irrigation valves shall be located in inconspicuous areas, and shall be parallel to adjacent structures and paving, with quick coupling valves spaces a minimum 100 feet on center.

PLANTING GOALS:

The project's landscape is meant to appear natural, full grown, and lush. It should utilize native, climate-appropriate, and low water use species. Variations in size, texture and color are critical. The overall planting palette, composed of accent trees, palms, screening shrubs and hedges, and groundcovers shall be designed to reflect a distinctive sense of place. The plantings shall provide seasonal interest and shade in the hottest times of the year and shall be composed of safe, non-invasive, non-thorny and non-toxic flowers, leaves, seeds and sap. The overall planting palette shall be primarily low maintenance and low water use, and plantings shall be grouped and organized according to consistent seasonal maintenance practices, water use and solar exposure. The use of native plants is recommended however, the palette should reflect the planting and geographic diversity of Southern California and use species that are climatically appropriate.

Planting Palette, Trees (all 24" box minimum):

Olea 'Swan Hill'

Lophostemon conferus (existing Street Tree species to REMAIN. 2 new street trees species to be determined by Bureau of Street Services.

AT-GRADE PLANTING CONDITIONS:

During the design phase, the existing site soils should be evaluated for percolation, salinity, alkalinity, and soil fertility to determine the level of soil mitigation required to sustain proposed planting and to what extents soil importation will be necessary. Prior to planting installation, planting areas should be evaluated for sub-surface compaction. Proposed planting areas may need to be scarified and/or have the sub-soil ploughed to alleviate any anticipated drainage problems. Additionally, the soil should be tested for agricultural suitability prior in order to determine the need for amendments to sustain the proposed plant materials. Soil analysis shall include: Soil Texture, Indicated infiltration rate, PH, Total soluble salts, Sodium, Percent organic matter, Recommendations.

PODIUM PLANTING CONDITIONS:

Imported soils shall be provided for all podium planting conditions, including 200 Cubic Feet each at 30-42" depth for trees, and 24-30" depth for Shrubs, vine succulents and perennials. Trees on podium shall have anchoring attached to the slab or the structural slab.

MULCH:

All landscaped areas shall contain 3" depth of Mulch, 3/8" rounded granitic riverbed gravel or ground and shredded bark mulch. Bark mulch shall consist of fibrous, woody bark mixture of varied particle sizes, no more than 2" long, 1" wide and 1/2" thick.

MATERIALS AND FURNISHINGS:

SIDEWALK AND STREETSCAPE

The streetscape design shall be supportive of the vibrant street life of Sunset Blvd. Retail spaces and lobby shall be located to provide activation to the public right of way. New street trees shall be provided in accordance with City recommendations. Planters and café seating shall be located along Sunset, and shall be durable, washable and include skate deterrents. Planter seat walls shall be cast in place concrete with top cast 03 finish, and shall provide comfortable seating for all ages and abilities.

PAVING

At the streetscape, normative circulation pathways, stairs and ramps shall be cast in place concrete with topcast 03 finish. At the ground floor, under canopies or in areas with movable seating, or in areas with clear indoor-outdoor connection, a smooth, honed and ground cast in place concrete shall be used. All paving materials should meet minimum slip coefficients (>60, per ASTM method C 1028). They should be durable and easy to maintain and replace when necessary. They also should be ADA compliant. A percentage of paving (dictated by county standards) should have a minimum SRI (Solar Reflection Index) of 28 at installation, and 33 after three years. OR At least 50% of unbound paving should adhere to an open grid system.

PODIUM PAVING

Amenity terraces shall be composed of large format 24x48" concrete unit pavers and class A rated decking on pedestals.

PODIUM PLANTERS

Planters shall be furnished as powder coated metal of variable heights, 42", 30" and 18".

BUILT-IN FURNITURE

Custom fabricated linear benches, work tables and counters shall be composed of hardwood or thermally modified decking with metal frames, and/or reclaimed lumber.

LIGHTING

Illumination level should be appropriate for egress and accent lighting. Target color temperature shall match architectural lighting, and be 3500-4000 Kelvin with appropriate color balance. Lighting shall be provided with mixture of heights. For ambiance, trees and other plantings should have up lighting such that does not provide glare to indoor work spaces

TECHNOLOGY AND WORKSPACE SUPPORT

To extend the workspace functionality of the exterior terraces, electrical outlets shall be provided per every 100-200 square feet. Dedicated outdoor work tables and counters shall include outlets at every 6 feet.

TOPOGRAPHY:

The site is largely flat, with a total grade change <5'.

OPEN SPACE AND LANDSCAPE CALCULATIONS

	OPEN SPACE (SF)	LANDSCAPE PROVIDED (SF)
B2	0	0
B1	0	0
1F	4,234	726
2F	1,380	196
3F	3,937	700
4F	1,959	252
ROOF	4,675	634
PROPOSED TOTAL	16,185	2,508

PROJECT NAME:

M E  
S E

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

APN: 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

BARDAS  
INVESTMENT GROUP

KEY PLAN:

NO.	DESCRIPTION	DATE

DESIGN CONSULTANT:

OW  
Otherworks  
923 E 3RD ST #107  
LOS ANGELES, CA 90013

EXECUTIVE ARCHITECT:

HRA  
House & Robertson  
ARCHITECTS

LANDSCAPE ARCHITECT:

SALT

LIGHTING DESIGNER:

HENDERSON  
ENGINEERS

DRAWING TITLE:

LANDSCAPE DESCRIPTION

SCALE @ 24" X 36":

NOT APPLICABLE

PROJECT NO:

1911

PROJECT NORTH:

DRAWING NO:

L1-100

REV NO:

0







MELROSE AVE

[illegible]

)

- 1 CONCRETE PAVING/SIDEWALK
- 2 CONCRETE PAVERS ON PEDESTAL
- 3 EX. STREET TREE TO REMAIN
- 4 NEW TREE
- 5 RAISED PLANTER
- 6 RAISED PLANTER W/ TALL PLANTINGS
- 7 DRIVEWAY
- 8 BUILT IN SEATING
- 9 MOVEABLE FURNISHINGS
- 10 DECKING ON PEDESTAL

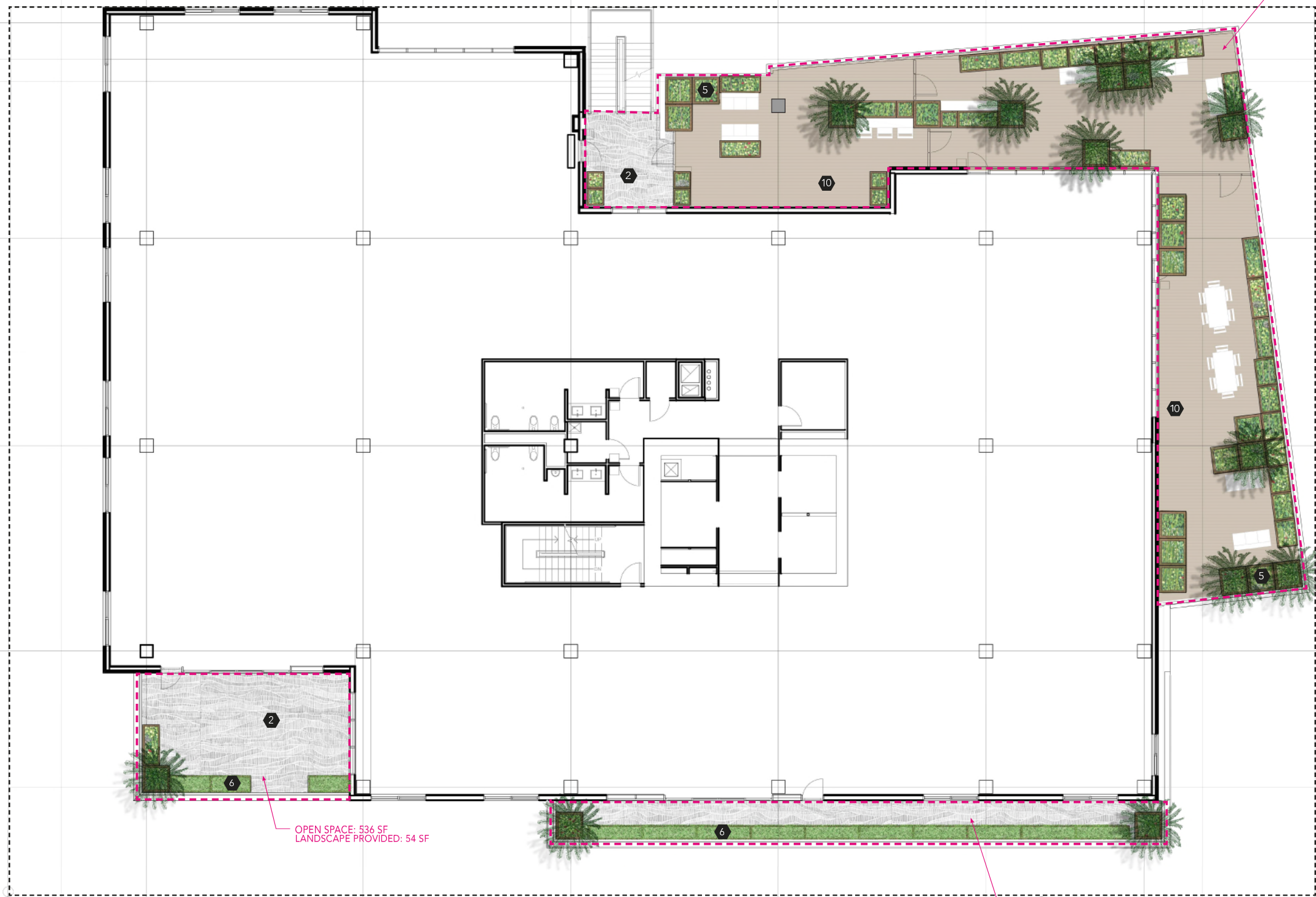
2F AREA TOTALS	
OPEN SPACE	1,380 SF
LANDSCAPE	196 SF

— OPEN SPACE: 763 SF  
LANDSCAPE PROVIDED: 119 SF

\* ACTUAL DECKS TO BE DESIGNED BY FUTURE TENANT. DESIGN PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY



MELROSE AVE



3F AREA TOTALS	
OPEN SPACE	3,937 SF
LANDSCAPE	700 SF

— OPEN SPACE: 2896 SF  
LANDSCAPE PROVIDED: 505 SF

— OPEN SPACE: 505 SF  
LANDSCAPE PROVIDED: 141 SF

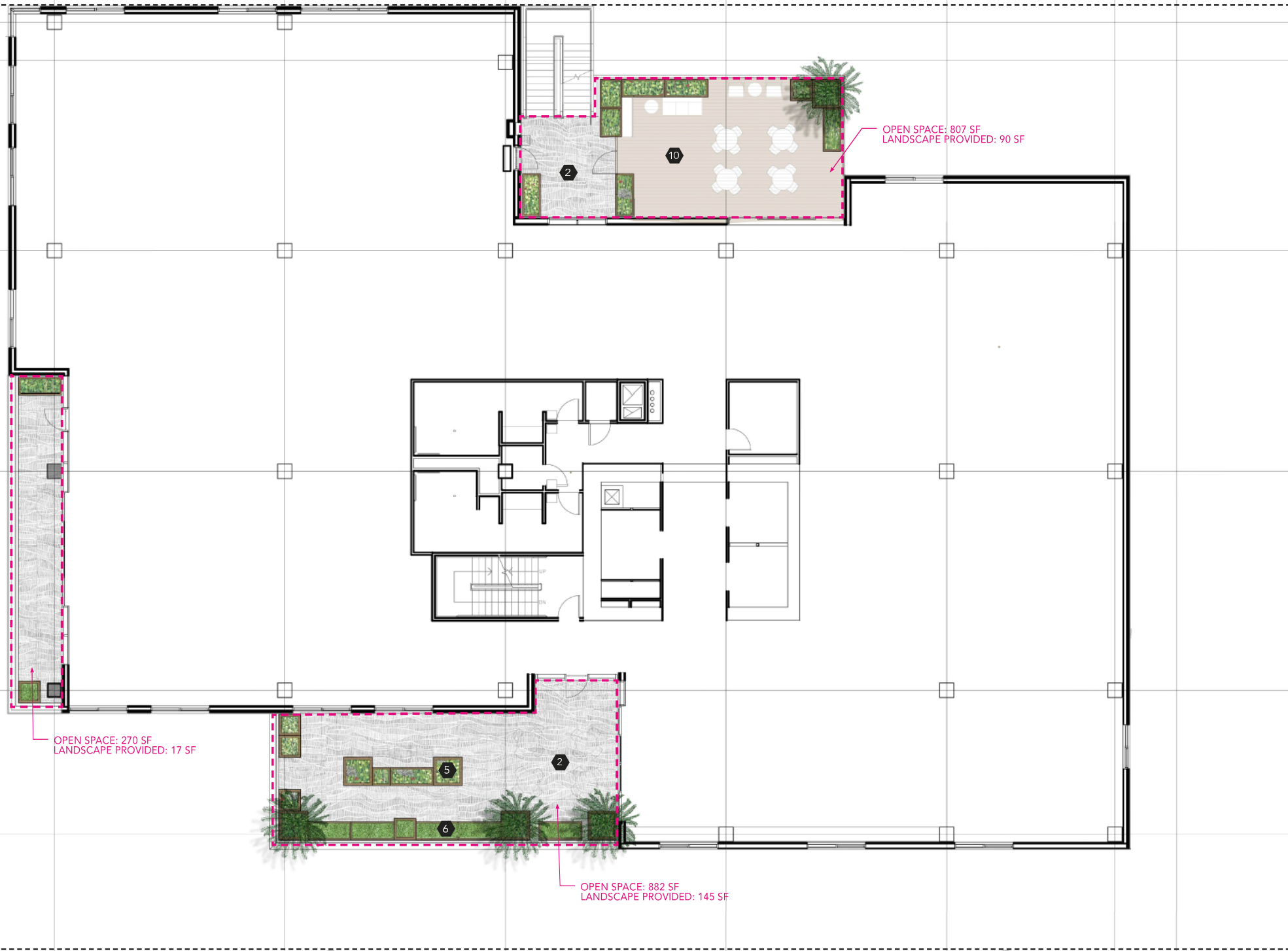
- 1 CONCRETE PAVING/SIDEWALK
- 2 CONCRETE PAVERS ON PEDESTAL
- 3 EX. STREET TREE TO REMAIN
- 4 NEW TREE
- 5 RAISED PLANTER
- 6 RAISED PLANTER W/ TALL PLANTINGS
- 7 DRIVEWAY
- 8 BUILT IN SEATING
- 9 MOVEABLE FURNISHINGS
- 10 DECKING ON PEDESTAL

[illegible]

0



MELROSE AVE



4F AREA TOTALS	
OPEN SPACE	1,959 SF
LANDSCAPE	252 SF

### KEYNOTES:

- 1 CONCRETE PAVING/SIDEWALK
- 2 CONCRETE PAVERS ON PEDESTAL
- 3 EX. STREET TREE TO REMAIN
- 4 NEW TREE
- 5 RAISED PLANTER
- 6 RAISED PLANTER W/ TALL PLANTINGS
- 7 DRIVEWAY
- 8 BUILT IN SEATING
- 9 MOVEABLE FURNISHINGS
- 10 DECKING ON PEDESTAL

ME  
SE

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

OW



SALT


**HENDERSON**  
ENGINEERS

**LANDSCAPE PLAN - 4F**

$$1/8'' = 1' - 0''$$

1911

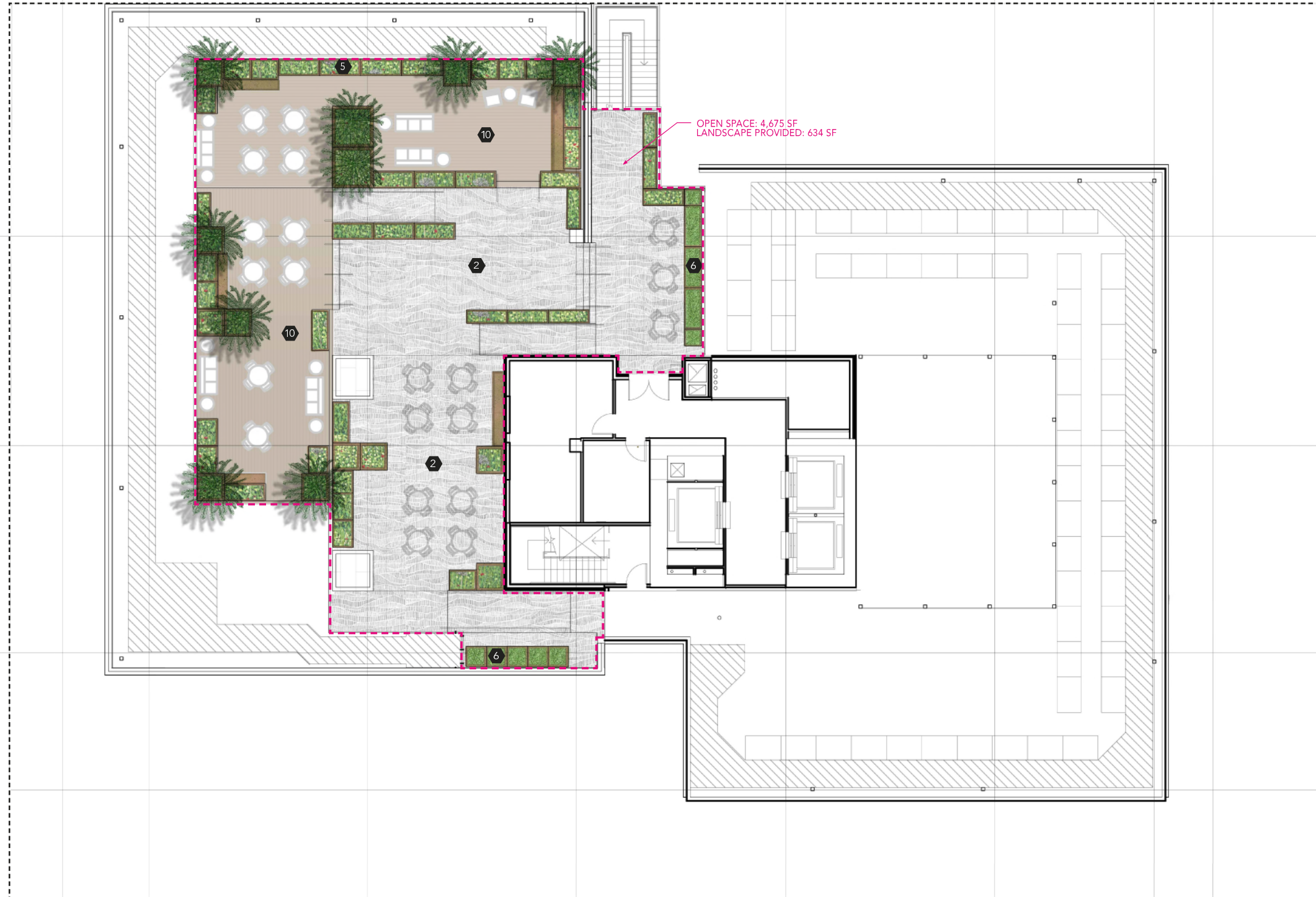
**L1-104**



# O



MELROSE AVE



ROOF AREA TOTALS	
OPEN SPACE	4,675 SF
LANDSCAPE	634 SF

## KEYNOTES:

- 1 CONCRETE PAVING/SIDEWALK
- 2 CONCRETE PAVERS ON PEDESTAL
- 3 EX. STREET TREE TO REMAIN
- 4 NEW TREE
- 5 RAISED PLANTER
- 6 RAISED PLANTER W/ TALL PLANTINGS
- 7 DRIVEWAY
- 8 BUILT IN SEATING
- 9 MOVEABLE FURNISHINGS
- 10 DECKING ON PEDESTAL

me  
se

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

**BARDAS**  
INVESTMENT GROUP

[illegible]

**OW**  
**Otherworks**  
923 E 3RD ST #107  
LOS ANGELES, CA 90013



SALT



**HENDERSON**  
ENGINEERS

DRAWING TITLE:  
**LANDSCAPE PLAN - ROOF**

$$1/8'' = 1' - 0''$$

1911



**L1-105**


**D**



A large, mature fan palm (Livistona rotundifolia) with a thick, textured trunk and numerous large, fan-shaped fronds, growing in a lush, green environment.

A photograph of a fan palm (Livistona rotundifolia) with large, fan-shaped fronds, growing in a lush, green, tropical environment. The palm is the central focus, with its trunk visible and fronds spreading out. The background is filled with dense, green foliage, creating a vibrant, natural setting.

A close-up photograph showing several horizontal wooden planks. The planks are light brown with a visible wood grain. They are arranged in a slightly overlapping manner, with the edges of the planks visible. The lighting is even, highlighting the texture of the wood.



**m e**  
**s e**

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

**BARDAS**  
INVESTMENT GROUP

[illegible]

OW

923 E 3RD ST #107  
LOS ANGELES, CA 90013

**LIRA**  
House & Roberts  
ARCHITECTS

SALT



**HENDERSON**  
ENGINEERS

## TITLE PAGE

$$1/32'' = 1' - 0''$$

1911

**A0-001**

# O





# O



DRAWING NO: <b>LL-102</b>	REV NO: <b>0</b>
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**LIGHTING KEY**

- TYPE L1
- TYPE S1
- TYPE W2



- TYPE L1
- TYPE S1
- TYPE W2

0



6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

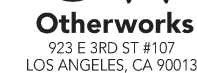
CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:

LIGHTING DESIGNER:



DRAWING TITLE:

## LIGHTING PLAN - 4F

SCALE @ 24" X 36":

$$1/8'' = 1' - 0''$$


PROJECT NO:

1911

PROJECT NORTH:
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DRAWING NO:

LL-104

REV NO:

0



### LIGHTING KEY

**TYPE L1**

- TYPE S1

**TYPE W3**





# O

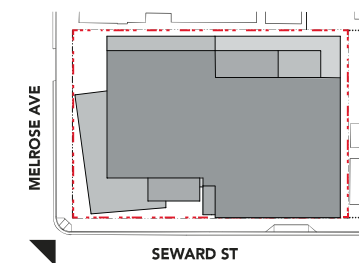








**AERIAL VIEW FROM THE CORNER OF MELROSE AND SEWARD**



## KEY PLAN

PROJECT NAME:

ME  
SE

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



DRAWING TITLE:

## RENDERING -1

SCALE @ 24" X 36":

**NOT APPLICABLE**

PROJECT NO:

1911

PROJECT NORTH:

DRAWING NO:

**R-001**

REV NO:

0



01-6117 N. MELROSE AVE  
29,733-735 SEWARD AVE  
LOS ANGELES, CA 9003



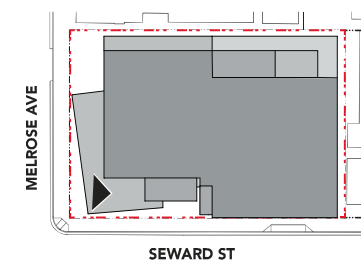








### VIEW FROM THIRD FLOOR DECK



## KEY PLAN

PROJECT NAME:

**m €**  
**s €**

6101-6117 N. MELROSE AVE  
729,733-735 SEWARD AVE  
LOS ANGELES, CA 90038

**APN:** 5533-037-005, 5533-037-024, 5533-037-023

CLIENT:

**BARDAS**  
INVESTMENT GROUP

KEY PLAN:

[illegible]

DESIGN CONSULTANT:



EXECUTIVE ARCHITECT:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



DRAWING TITLE:

## RENDERING - 4

SCALE @ 24" X 36":

**NOT APPLICABLE**

PROJECT NO:

1911

PROJECT NORTH:

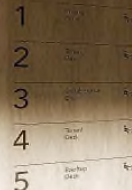
DRAWING NO:





**R-004**

REV NO:

**D**





PROJECT NAME:		
<div><div>m e</div><div>s e</div><div>6101-6117 N. MELROSE AVE 729,733-735 SEWARD AVE LOS ANGELES, CA 90038</div><div>APN: 5533-037-005, 5533-037-024, 5533-037-023</div></div>		
CLIENT:		
<div><div>BARDAS</div><div>INVESTMENT GROUP</div></div>		
KEY PLAN:		
NO.	DESCRIPTION	DATE
DESIGN CONSULTANT:		
<div><div></div><div>Otherworks</div><div>923 E 3RD ST #107 LOS ANGELES, CA 90013</div></div>		
EXECUTIVE ARCHITECT:		
<div><div></div></div>		
LANDSCAPE ARCHITECT:		
<div><div></div></div>		
LIGHTING DESIGNER:		
<div><div></div><div>HENDERSON ENGINEERS</div></div>		
DRAWING TITLE:		
RENDERING - 5		
SCALE @ 24" X 36":		
NOT APPLICABLE		
PROJECT NO:	PROJECT NORTH:	
1911		
DRAWING NO:	REV NO:	
R-005	0	